

MAY 29 2018

REQUEST FOR AGENDA PLACEMENT FORM

Submission Deadline - Tuesday, 12:00 PM before Court Dates

SUBMITTED BY: Ralph McBroom

TODAY'S DATE: May 21, 2018

DEPARTMENT: Purchasing

DEPARTMENT HEAD: Ralph McBroom

REQUESTED AGENDA DATE: May 29, 2018

SPECIFIC AGENDA WORDING: Consider and approve Purchasing Agent to obtain engineering specifications from Halff Associates, Inc. in order to advertise and seek proposals for RFB 2018-809 Construction of the Guinn Building Parking Lot. In addition, approve Halff Associates to provide technical support throughout the bidding process and administrative support throughout the construction phase.

PERSON(S) TO PRESENT ITEM: Ralph McBroom C.P.M.

SUPPORT MATERIAL: (See attached)

TIME: 5 min

(Anticipated number of minutes needed to discuss item)

ACTION ITEM: X

WORKSHOP

CONSENT:

EXECUTIVE:

STAFF NOTICE:

COUNTY ATTORNEY:

AUDITOR:

PERSONNEL:

BUDGET COORDINATOR:

IT DEPARTMENT:

PURCHASING DEPARTMENT:

PUBLIC WORKS:

OTHER:

*****This Section to be completed by County Judge's Office*****

ASSIGNED AGENDA DATE: _____

REQUEST RECEIVED BY COUNTY JUDGE'S OFFICE _____

COURT MEMBER APPROVAL _____ Date _____

ENGINEER'S STATEMENT OF PROBABLE COST

GUINN JUSTICE CENTER PARKING LOT
NORTHEAST CORNER OF S. BUFFALO & W. HARRELL
Proposed Asphalt Parking Lot

Project: Guinn Justice Center Parking Lot
Client: Johnson County

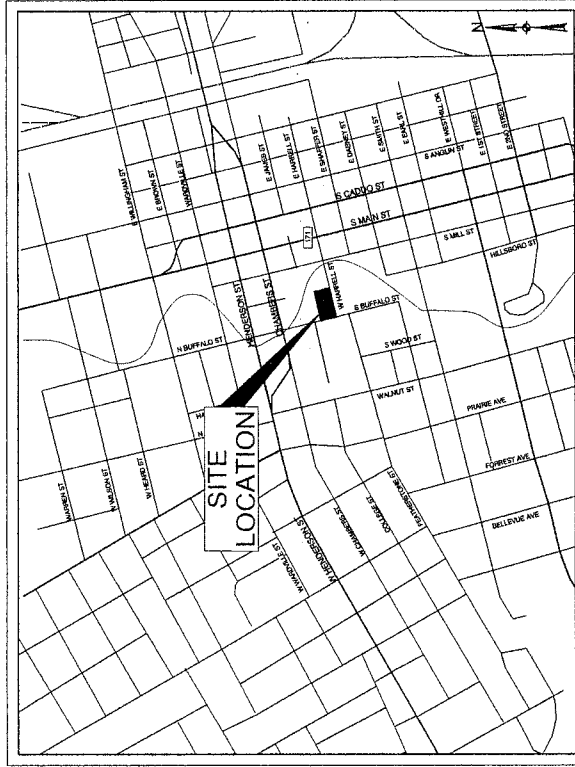
Prepared by: Brian Haynes, PE
Date: 5/17/2018

Pavement Material: Asphalt
Pavement Thickness: 6 in
Current Date: 2017 year
Estimated Construction Date: 2018 year

ITEM NO.	DESCRIPTION	UNIT	QTY	Engineer's Estimate	
				UNIT PRICE	EXTENDED PRICE
Section I - Guinn Justice Center Parking Lot					
1	Mobilization (10% of Total Bid)	LS	1	\$12,500.00	\$12,500.00
2	Site Preparation (10% of Total Bid)	LS	1	\$12,500.00	\$12,500.00
3	Construction Staking	LS	1	\$2,500.00	\$2,500.00
4	Earthwork (Excavation)(Assuming 1-ft depth)	CY	65	\$20.00	\$1,300.00
5	Cement Treated Subgrade (6")	SY	1760	\$10.00	\$17,600.00
6	Cement Slurry (25 lbs/sy)	TON	22	\$250.00	\$5,500.00
7	Asphalt Pavement (4" Thick Type B)	TON	352	\$175.00	\$61,600.00
8	Asphalt Pavement (2" Thick Type D)	TON	176	\$200.00	\$35,200.00
9	Concrete Driveway (6") (3,000 psi)	SY	101	\$60.00	\$6,060.00
10	Concrete Sidewalk (4" Thick)	SY	94	\$50.00	\$4,700.00
11	Curb Ramp (ADA)	EA	2	\$3,500.00	\$7,000.00
12	Pavement Markings & Signage	LS	1	\$5,000.00	\$5,000.00
13	Connect to Existing Asphalt	LF	162	\$15.00	\$2,430.00
14	Concrete Curb & Gutter (2-ft Wide) (3,000 psi)	LF	120	\$35.00	\$4,200.00
15	Wheel Stops	EA	24	\$150.00	\$3,600.00
16	Hot-Mix Asphalt Transition (6" Thick)	TON	10	\$150.00	\$1,500.00
17	Sodding & Topsoil	SY	315	\$10.00	\$3,150.00
18	Erosion Control	LS	1	\$2,500.00	\$2,500.00
19	Trees (1" Caliper)	EA	3	\$400.00	\$1,200.00
20	Trees (2" Caliper)	EA	2	\$500.00	\$1,000.00
Subtotal Section I					\$191,040.00
SUBTOTAL CONSTRUCTION IMPROVEMENTS					\$191,000.00
CONTINGENCY (20%)					\$38,200.00
CONSTRUCTION MATERIAL TESTING (2.5%)⁴					\$4,800.00
CONSTRUCTION COST					\$234,000.00
BASIC ENGINEERING (SITE PLAN PHASE)					\$5,390.00
BASIC ENGINEERING (DESIGN PHASE)					\$22,410.00
ADDITIONAL SERVICES (GEOTECHNICAL)					\$0.00
OTHER SERVICES (BIDDING AND CONSTRUCTION)					\$18,230.00
DESIGN COSTS					\$46,030.00
TOTAL PROJECT COST (DESIGN + CONSTRUCTION COST)					\$280,030.00
INFLATION ADJUSTMENT (3.0% PER YEAR)²					\$5,700.00
TOTAL PROJECT BUDGET⁵					\$290,000.00
Notes:					
1. Lighting, landscaping, and irrigation design and construction costs are <u>excluded</u> from this estimate.					
2. An inflation rate of 3.0% was assumed based on the average Consumer Price Index from 2000 to 2013.					
3. Construction Inspection and Right-of-Way Acquisition are <u>excluded</u> from this estimate.					
4. Construction Material Testing costs were estimated at 2.5% of the overall construction cost.					
5. Cost estimate assumes construction will begin within 12 months.					
NOTE: This statement was prepared utilizing standard cost and/or estimating practices. It is understood and agreed that this is a statement of probable construction cost only, and the Engineer shall not be liable to the Owner or any Third Party.					

CONSTRUCTION PLANS FOR GUINN JUSTICE CENTER PARKING LOT ADDITION

CLEBURNE, TEXAS
APRIL 2018



SHEET NUMBER	SHEET TITLE
C0.01	GENERAL NOTES
C1.01	EROSION CONTROL PLAN
C1.02	EROSION CONTROL DETAILS
C2.01	GRADING PLAN
C3.01	DRAINAGE AREA MAP
C5.01	PAVING PLAN
C6.01	PAVING DETAILS
C6.02	PAVING DETAILS
L1.1	LANDSCAPE PLAN

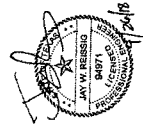
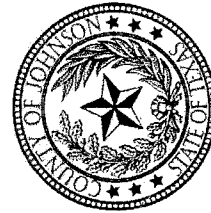
PREPARED FOR
CITY OF CLEBURNE

10 NORTH ROBINSON STREET ~ CLEBURNE, TEXAS 76031



1001 CROSS TIMBERS RD., SUITE 2020
FLOWER MOUND, TX 75028
TEL (972) 956-0801
FAX (972) 956-0842

PROJECT MANAGER: JAY W. REISSIG

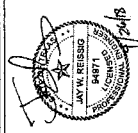


AVO 32192

APRIL 2018



No.	Item	Description

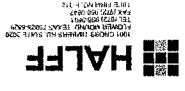


GENERAL NOTES - PAVING IMPROVEMENTS

- All fill shall be compacted to a density of at least 95% by the 1921 Proctor Method or 98% by the 1963 Proctor Method. All subgrade and subbase materials shall be approved by the City. All fill shall be tested as installed and certified by an approved soils laboratory.
- All streets, unless alternative design is submitted by the contractor, shall be constructed in accordance with the City of Ceburne. Streets shall be constructed on a minimum of 6 inches of stabilized subgrade (lime or cement) as soil tests indicate. Compaction shall be ninety (90) percent. A minimum of 1,000 square yards or less, as required by the City Inspector.
- The sub-grade shall be proof rolled and observed by the construction inspector prior to and after sub-grade stabilization.
- The parkways and streets shall be rough cut to 0 plus or minus one-tenth (0.1) feet of their respective final grades.
- Construction of wheelchair ramps will be the responsibility of the contractor at the time of public improvements.
- Individual water and sewer services and water valves shall have a suitable marker (W for water, S for sanitary sewer and 3VC for valves) stamped on the face of the curb, or if no curb is constructed, on the top of the curb. The marker shall be placed at least 10 inches in height and width. Water services shall be located 10' upstream from the sanitary sewer service, with the sewer service at the center of the front of the lot.
- The Contractor shall proceed with paving no more than seventy-two (72) hours after density / moisture tests have been completed. The test results shall be furnished to the City. In the event paving operations have not commenced within the seventy-two (72) hour limit, a retest shall be required of the Contractor's expense.
- Manhole rim elevations, clean-outs, valve boxes, fire hydrants, etc. shall be adjusted to finished grade by the paving contractor at the time of paving.

GENERAL NOTES

- All construction shall be in strict accordance with the standards of the City of Ceburne and governed by the North Central Texas Council of Government's Standard Specifications for Public Works Construction latest edition.
- Materials and workmanship shall conform to the City of Ceburne standards where they differ from NCTCOG standards.
- The Texas Department of Transportation (TxDOT) must approve any work to be done in the state highway right-of-way. An application and appropriate plans must be submitted directly to TxDOT for review.
- A permit is required to cut a city street or work within the right-of-way. The permit is issued by the Public Works Department.
- The location of underground facilities indicated on the plans shall be verified by the contractor's responsibility to make arrangements with the owners of such underground facilities prior to working in the area. The contractor shall be responsible for the location of all underground facilities. The contractor shall preserve and protect all underground facilities. If existing underground utilities are damaged, the contractor will be responsible for the cost of repairing the utility.
- Where existing utilities or service lines are cut, broken or damaged, the contractor shall be responsible for the repair of such utilities or service lines with the same type of original material and construction, or better, unless otherwise shown or noted on the plans, at his own cost and expense. The contractor shall immediately notify the engineer of any conflicts in grades and alignments of any excavations, retaining and structural work, and shall obtain the approval of the Department of Labor, OSHA, Const. Safety and Health Regulations, Vol. 29, Subpart P, pg. 128 - 137, and any amendments thereto. Last updated: 1/2009
- Adequate measures shall be taken to prevent erosion. In the event that significant erosion occurs as a result of construction, the contractor shall restore the eroded area to original condition or better.
- The Contractor shall restore all areas disturbed by construction to original condition or better. Restored areas include, but are not limited to trench backfill, side slopes, fences, culvert pipes, drainage ditches, driveways, private yards and roadways.
- Any changes needed after construction plans have been approved shall be submitted to the Engineer. Those changes must be received in writing from the design engineer. The Director of Public Works shall approve any deviations from state regulations.
- The contractor shall provide red lined marked prints to the Engineer prior to final inspection indicating all changes. The contractor shall be responsible for any construction in addition to that indicated on the plans.
- The contractor must field verify existing service locations prior to installing new services. When installing a new water line, all existing services must be connected to the new line.
- The contractor shall keep records for Record Drawings and shall submit markups to the City Inspector prior to scheduling a final walkthrough inspection.
- Prior to construction, a pre-construction meeting shall be held with the contractor, the engineer, and the City of Ceburne.

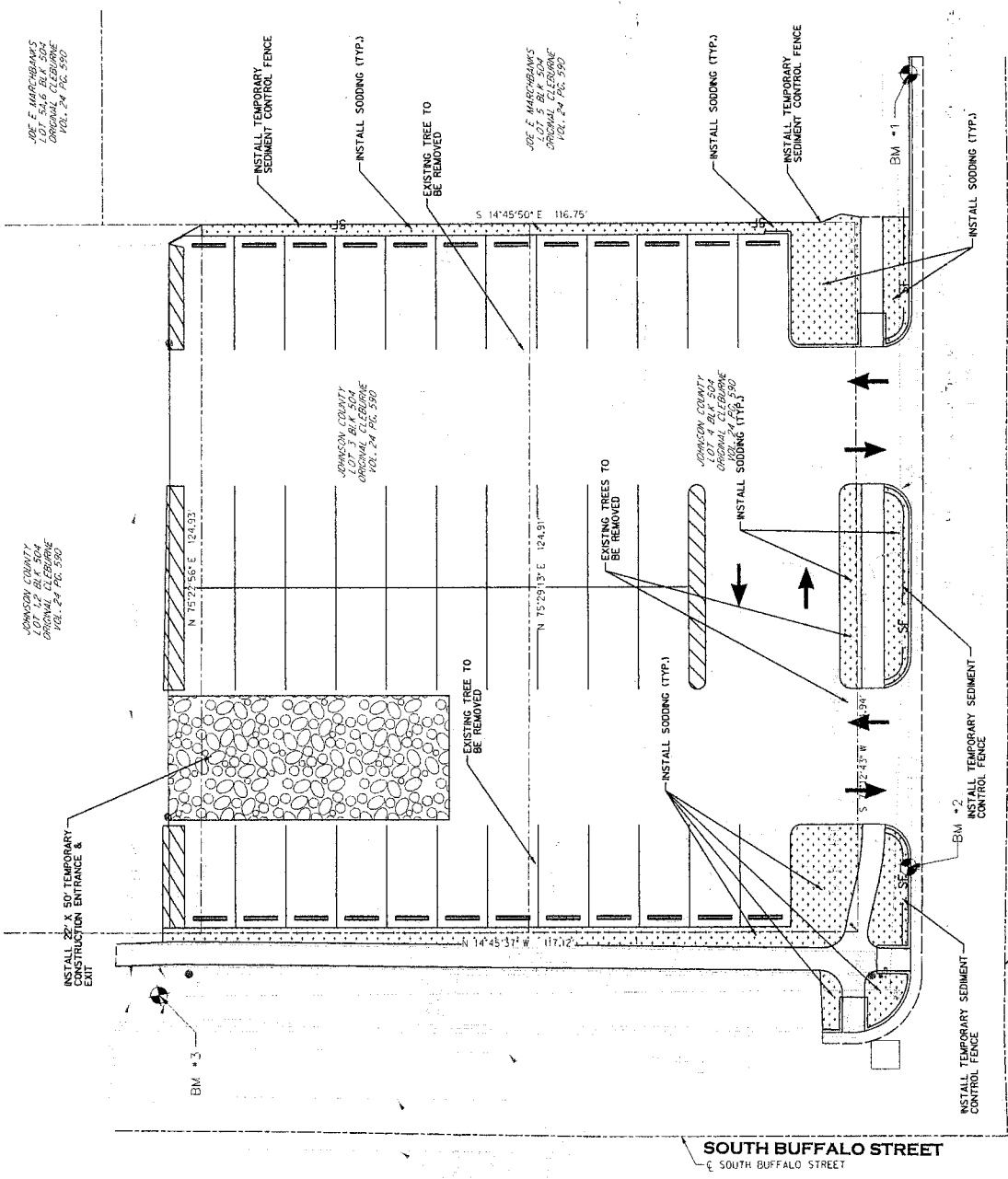
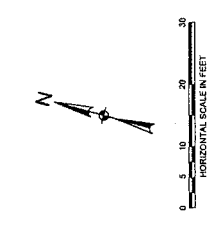


No.	Date	Description



SHEET 1 OF 9

Project No.: 31302
 Issue: 02/27/18
 Drawn By: JWR
 Checked By: JWR
 Scale: 1" = 10'
 Sheet Title: EROSION CONTROL PLAN
 Sheet Number: C1.01



LEGEND

- SF — TEMPORARY SEDIMENT CONTROL FENCE
- [Symbol] SODDING
- [Symbol] TEMPORARY CONSTRUCTION ENTRANCE/EXIT

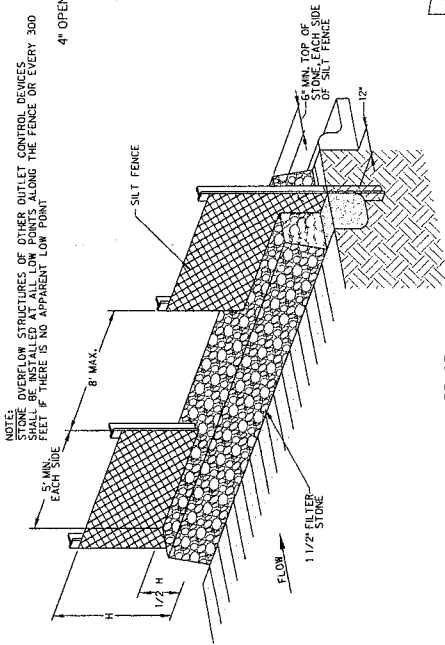
NOTES

1. ALL EROSION CONTROL ELEMENTS TO BE PLACED AS SHOWN IN EROSION CONTROL DETAILS SHEETS.
2. TEMPORARY EROSION CONTROL ELEMENTS TO BE MAINTAINED AND REPAIRED AS DIRECTED BY THE ENGINEER.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION (SWPPP) PLAN IN ACCORDANCE WITH THE TEXAS SWPPP REGULATION (30 TAC 101.001) AND THE FEDERAL CLEAN WATER ACT (PERMIT NO. TXR180000).
4. CONTRACTOR SHALL PROVIDE A COPY OF THE NDI TO THE CITY.
5. CONTRACTOR SHALL INSTALL INLET PROTECTION ON EXISTING AND PROPOSED INLETS WITHIN AND ADJACENT TO CONSTRUCTION AREA.
6. CONTRACTORS RESPONSIBLE FOR MAINTAINING ADJACENT PUBLIC ROADS IN CLEAN AND SAFE CONDITION WITH RESPECT TO PROP. CONSTRUCTION.
7. CONTRACTOR SHALL INSTALL INLET PROTECTION AND SODDING AT THE CORNER OF WEST HARRELL AND SOUTH HILLSBORO STREET.

BENCHMARKS:
 BENCHMARK CUBES ON THE NORTH SIDE OF WEST HARRELL STREET
 POINT 101, ELEVATION 782.85
 BENCHMARK 'X' CUT IN CURB ON THE NORTH SIDE OF WEST HARRELL STREET
 POINT 102, ELEVATION 754.02
 BENCHMARK 'X' CUT SET ON THE EAST SIDE OF SOUTH BUFFALO STREET
 POINT 103, ELEVATION 788.59

Existing utility locations shown are generally schematic in nature and may not accurately reflect the actual utility locations. The contractor shall assume responsibility for actual field location and protection of existing utilities whether shown or not. Contractor shall assume responsibility for any damage to existing utilities. Differences in horizontal or vertical location of existing utilities shall not be a basis for additional compensation. Contractor shall submit for utility location prior to construction.

NOTE: STONE OVERFLOW STRUCTURES OF OTHER OUTLET CONTROL DEVICES SHALL BE INSTALLED AT ALL LOW POINTS ALONG THE FENCE OR EVERY 300 FEET IF THERE IS NO APPARENT LOW POINT

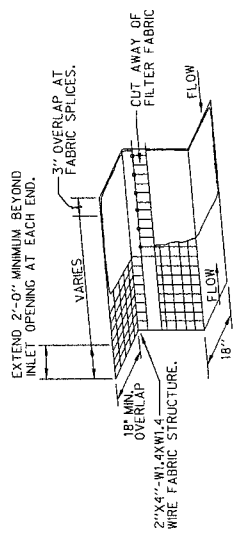


STONE OVERFLOW STRUCTURE
N.T.S.

DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%



SECTION A - A



EXTEND 2'-0" MINIMUM BEYOND INLET OPENING AT EACH END.

2" X 4" WIRE FABRIC STRUCTURE.

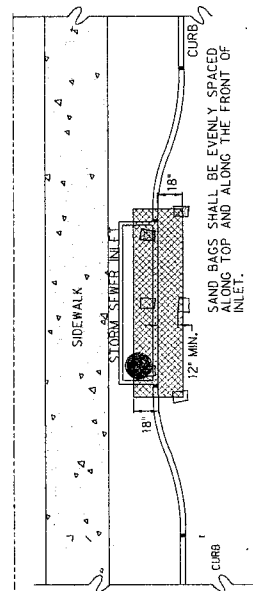
18" MIN OVERLAP FABRIC SPLICES.

CUT AWAY OF FILTER FABRIC

20 LB. SANDBAGS @ 3' O.C.

MINIMUM 4" HIGH CLEAR OPENING

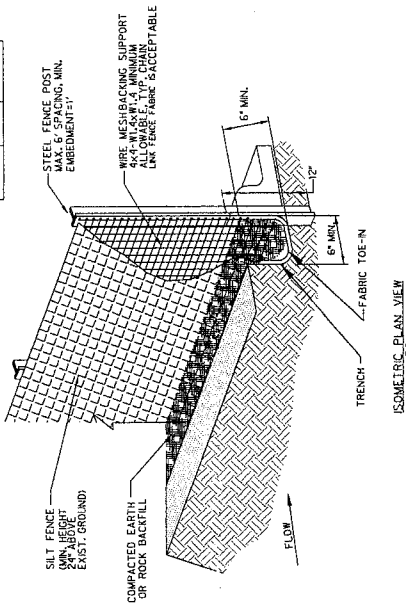
20 LB. SANDBAGS @ 3' O.C. (SEE NOTE 1)



SAND BAGS SHALL BE EVENLY SPACED ALONG TOP AND ALONG THE FRONT OF INLET.

CURB INLET PROJECTION DETAIL
N.T.S.

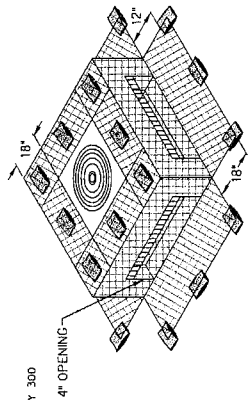
INLET OPENING	MINIMUM NUMBER OF SAND BAGS
5'	2
10'	3
15'	3
20'	4



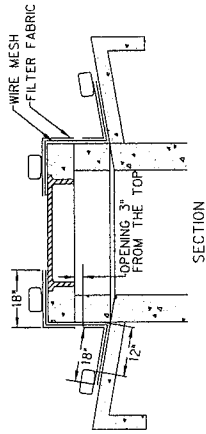
ISOMETRIC PLAN VIEW
N.T.S.

NOTE: WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE SAND BAGS, THE SAND BAGS SHOULD BE WASHED DOWN OR REPLACED PERIODICALLY. RE-GRADING AND TOP DRESSING WITH SAND SHOULD BE PERFORMED TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING.

TEMPORARY STONE CONSTRUCTION TRANSITION ENTRANCE EXHIBIT
N.T.S.



ISOMETRIC VIEW



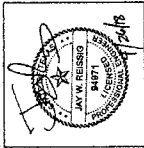
SECTION

FILTER FABRIC WYE INLET PROTECTION
N.T.S.

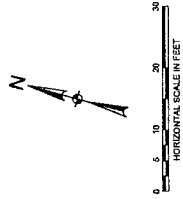
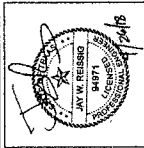
GENERAL NOTES

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOP OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE TO REMOVE ALL WEEDS AND GRASS. THE TRENCHING SHALL BE PERFORMED TO THE LINE OF FLOW. WHERE THE SILT FENCE IS TO BE INSTALLED ON PAVED SURFACES, THE SILT FENCE CANNOT BE TRENCHED IN (I.E. PAVEMENT). WEIGHT FABRIC FLAP SHALL BE TRENCHED IN TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE WHICH IS 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- INSPECTION SHALL BE MADE BY THE CONTRACTOR AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS IT IS OBSERVED AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- A SECTION OF FILTER FABRIC SHALL BE REMOVED AS SHOWN ON THIS DETAIL TO PROVIDE A 4-INCH MINIMUM CLEAR OPENING. FABRIC MUST BE KEPT IN PLACE TO PREVENT FLOW FROM SEEPING UNDER THE SILT FENCE. LOCATION TO BE MARKED WITH CLIPS OR PEGS AT THIS LOCATION.
- INSPECTION SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY REMOVE THE INLET PROTECTIONS IF THE STORM-WATER BEGINS TO OVERTOP THE CURB.
- INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

NO.	DATE	DESCRIPTION



NO.	DATE	REVISION



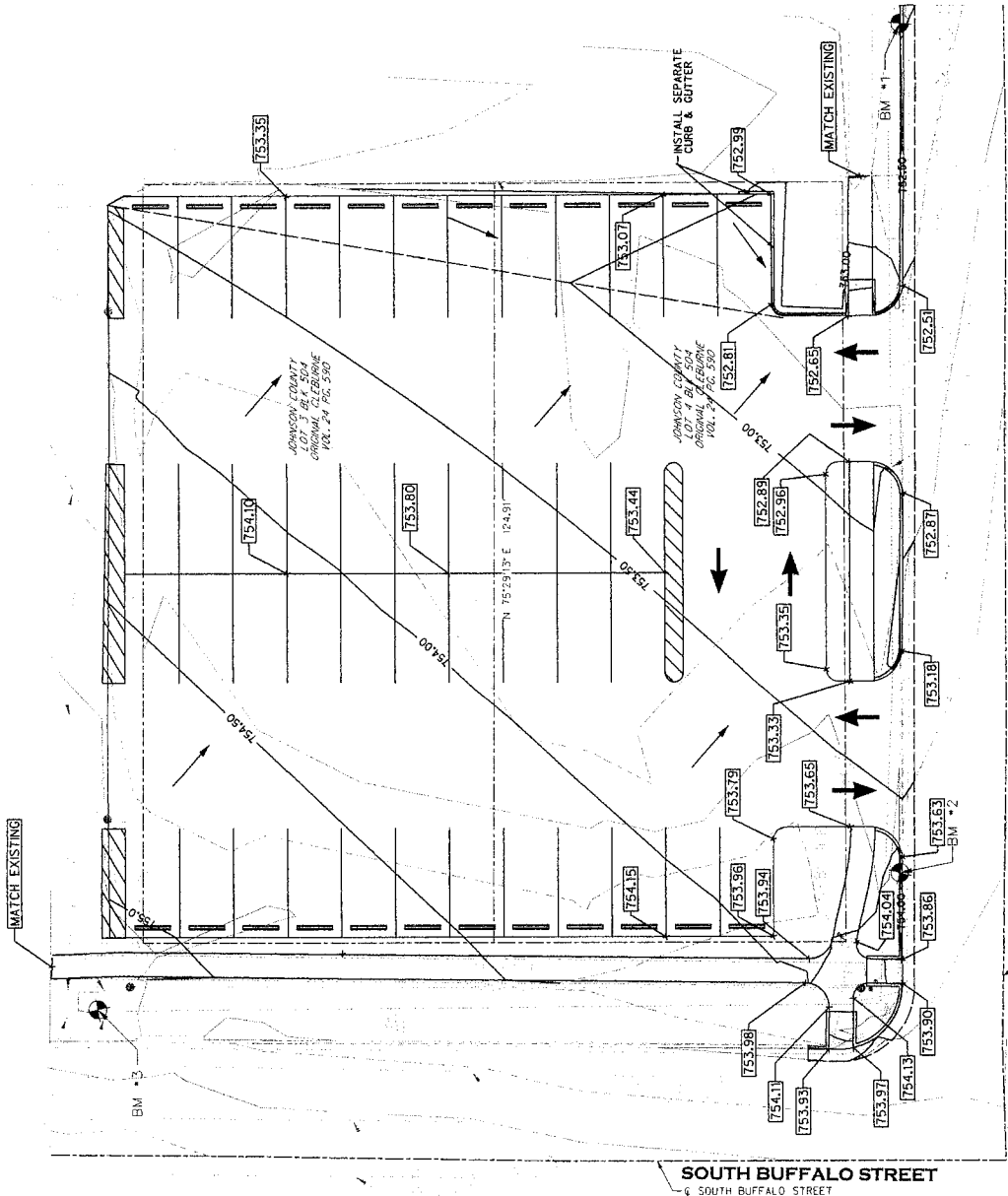
GRADING LEGEND

- SURFACE FLOW DIRECTION
- EXISTING CONTOUR
- 600 - - - EXISTING SPOT ELEVATION
- 618 - - - PROP. FINISHED GRADE CONTOUR
- 618 - - - PROP. FINISHED SPOT ELEVATION

NOTES

- SEE BARRIER FREE RAMP DETAILS FOR GRADING OF RAMP SURFACES.
- PROPOSED CONTOURS ARE SHOWN IN ONE-HALF FOOT INTERVALS.

Existing utility locations shown are generally schematic in nature and may not accurately reflect the size and location of existing utilities. Contractor shall assume responsibility for actual field location and protection of existing utilities whether shown or not. Contractor shall assume responsibility for repairs to existing utilities damaged in the course of construction. Contractor shall not be held responsible for any damage to existing utilities. Contractor shall not be held responsible for any damage to existing utilities. Contractor shall not be held responsible for any damage to existing utilities.

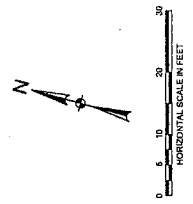
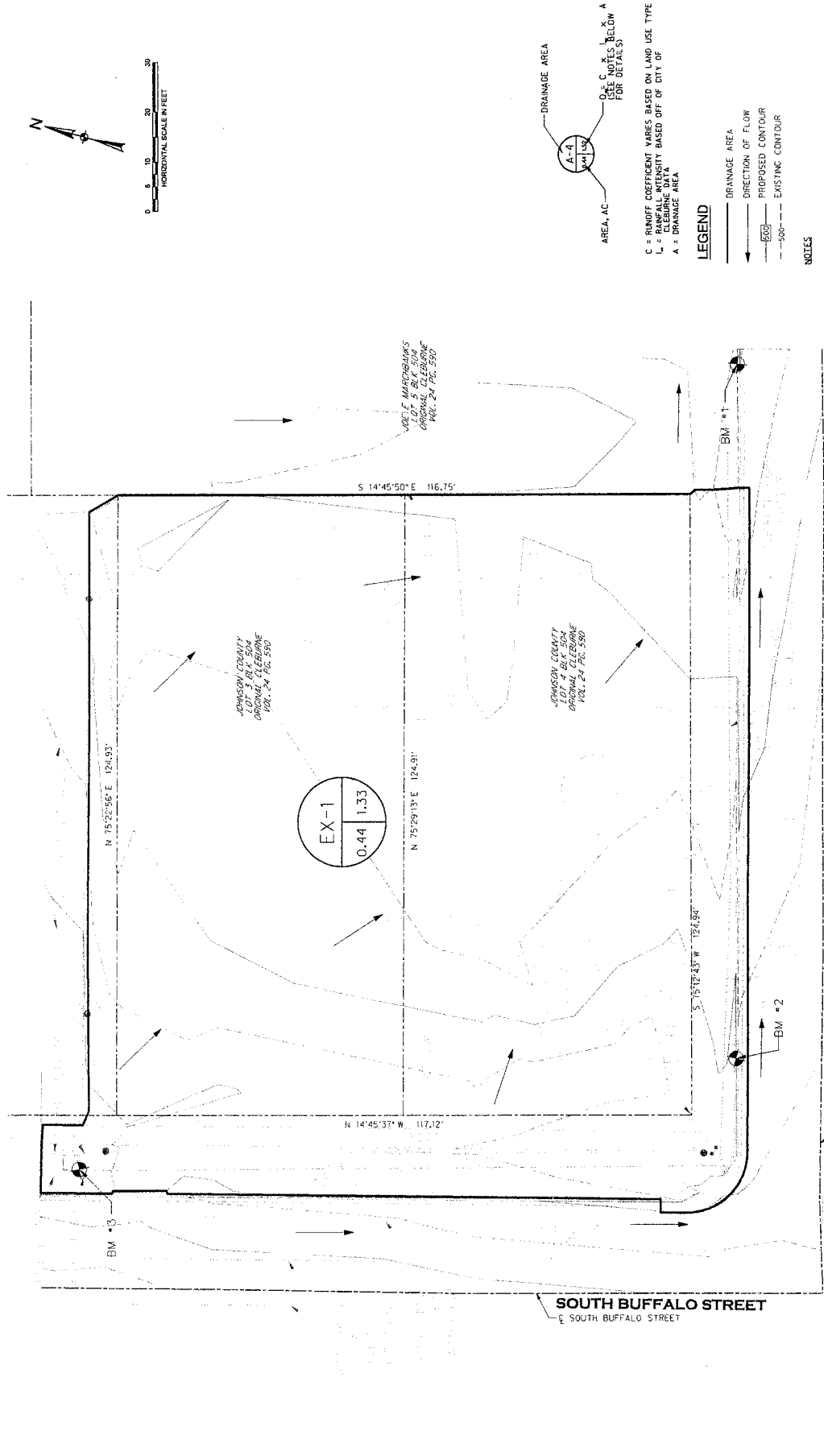
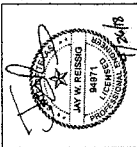


BENCHMARKS:

- BM#1 - "X" CUT IN CURB ON THE NORTH SIDE OF WEST HARRELL STREET POINT 101. ELEVATION 752.85'
- BM#2 - "X" CUT IN CURB ON THE NORTH SIDE OF WEST HARRELL STREET POINT 102. ELEVATION 754.02'
- BM#3 - "X" CUT SET ON THE EAST SIDE OF SOUTH BUFFALO STREET POINT 103. ELEVATION 753.89'



No.	Date	Description



LEGEND

- DRAINAGE AREA
- DIRECTION OF FLOW
- PROPOSED CONTOUR
- EXISTING CONTOUR

NOTES

1. RAINFALL INTENSITIES FROM CITY OF CLEBURNE DESIGN MANUAL FOR SITE DEVELOPMENT.
2. REFER TO PAVING & GRADING PLAN FOR PROPOSED SITE GRADING.

BENCHMARKS:

BM#1 - "X" CUT IN CURB ON THE NORTH SIDE OF WEST HARRELL STREET POINT 101, ELEVATION 752.55'

BM#2 - "X" CUT IN CURB ON THE NORTH SIDE OF WEST HARRELL STREET POINT 102, ELEVATION 754.02'

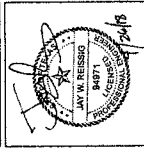
BM#3 - "X" CUT SET ON THE EAST SIDE OF SOUTH BUFFALO STREET POINT 103, ELEVATION 753.59'

Drainage Area Computations

Design Point ID	Runoff Coef. "C"	Area "A" (Acres)	Total "CA"	Time of Concentration (min)	Discharge			Intensity (in/hr)	Discharge Q (cfs)	
					10yr (cfs)	25yr (cfs)	100yr (cfs)			
1	0.38	0.44	0.17	5.00	7.83	1.32	8.10	1.53	11.00	1.85
EX-1	0.86	0.44	0.38	5.00	7.83	2.97	9.10	3.45	11.00	4.17

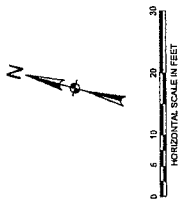
Existing utility locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. The Contractor shall assume responsibility for actual field location and protection of existing utilities whether shown or not. Contractor shall assume responsibility for repairs to existing utilities whether shown or not, horizontal or vertical location of existing utilities and not be a basis for additional compensation. Contractor is not to be held liable for utility location prior to construction.

NO.	DATE	DESCRIPTION



PROJECT NO.: 22102
SHEET 2 OF 3
DATE: 02/02/18
DRAWN BY: JWR
CHECKED BY: JWR
SCALE: 1"=10'
SHEET 186

PAVING PLAN
C5.01
Sheet Number



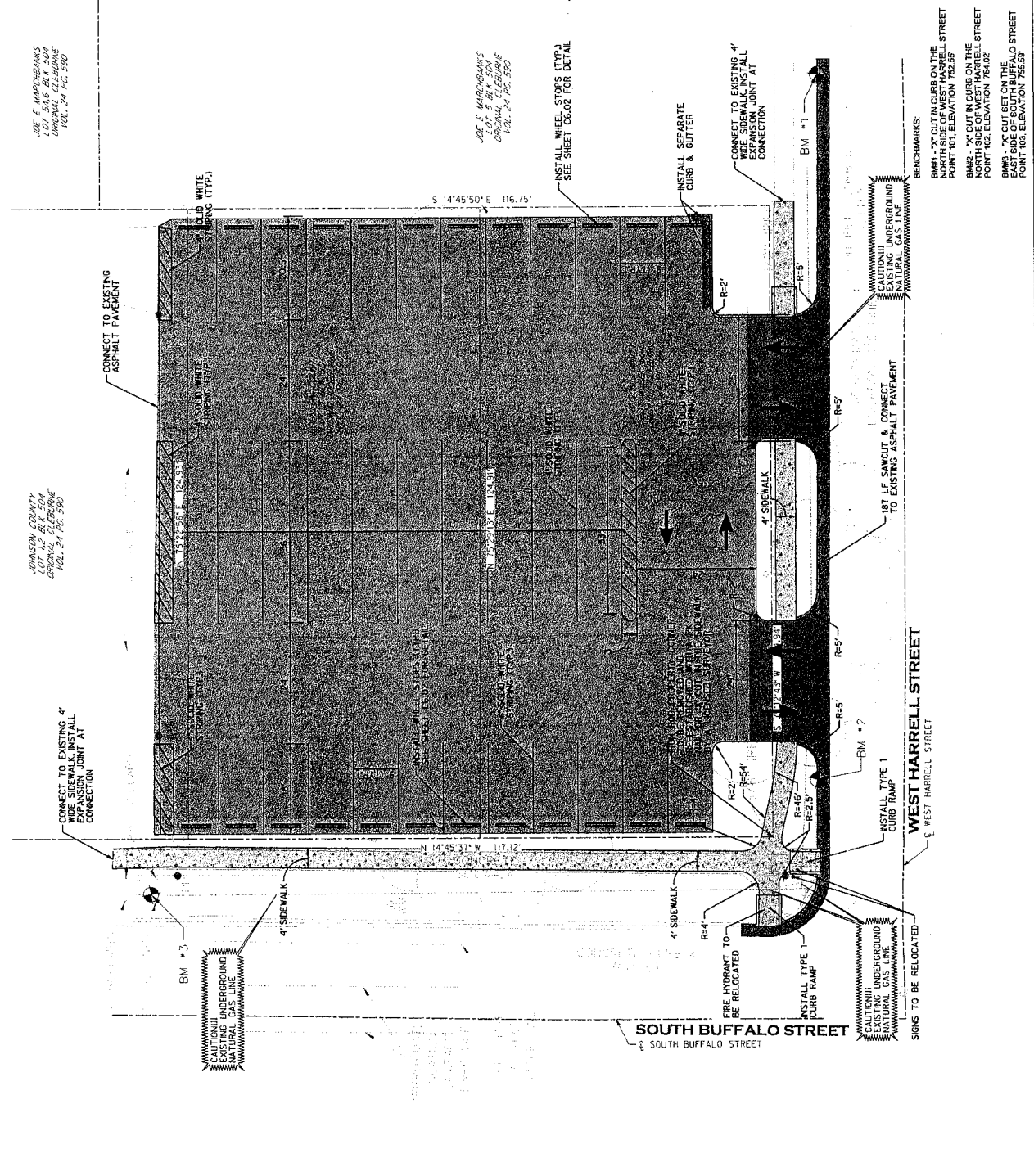
PAVING LEGEND

- PROPOSED 6" REINFORCED CONCRETE PAVEMENT STABILIZED SUBGRADE
- PROPOSED 2" TYPE IV & 4" TYPE IV ASPHALT PAVEMENT W/ 6" CEMENT STABILIZED SUBGRADE
- PROPOSED 4" REINFORCED CONCRETE SIDEWALK, 3,000 PSI
- SAWCUT LINE

NOTES

1. DIMENSIONS AND STATION/OFFSETS ARE TO BACK OF CURB UNLESS OTHERWISE SHOWN IN PLANS. ALL RADIIUS DIMENSIONS ARE TO FACE OF CURB.
2. REFER TO GENERAL NOTES FOR ADDITIONAL INFO.
3. REFER TO PAVEMENT DETAILS AND STANDARD DETAILS FOR PAVING NOTES, DETAILS, AND OTHER INFORMATION.
4. REINFORCED CONCRETE PAVEMENT SHALL BE CLASS 'C' PORTLAND CEMENT CONCRETE (COMP. STRENGTH OF 4,000 PSI) WITH NO. 3 REBAR SPACED AT 18" C/C EACH WAY.
5. PAVEMENT MARKING SHALL BE 4" PAINTED STRIPING AS INDICATED.
6. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AND SHALL MAINTAIN TWO-WAY TRAFFIC ON HARRELL STREET AT ALL TIMES.

Existing utility locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility shown. Contractor shall assume responsibility for actual utility location and protection of existing utilities whether shown or not. Contractor shall assume responsibility for repairs to existing utilities whether shown or not. Horizontal or vertical location of existing utilities shall not be a basis for additional connection. Contractor shall call for utility location prior to construction.



JOE F. MARZBANKS
LOT 54.6, BLK 5004
ORIGINAL CLEARING
VOL. 24, P. 6, 590

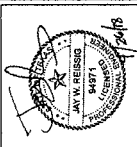
JOE F. MARZBANKS
LOT 5, BLK 5004
ORIGINAL CLEARING
VOL. 24, P. 6, 590

BENCHMARKS:
BM#1 - "X" CUT IN CURB ON THE WEST SIDE OF WEST HARRELL STREET POINT 101, ELEVATION 752.59
BM#2 - "X" CUT IN CURB ON THE NORTH SIDE OF WEST HARRELL STREET POINT 102, ELEVATION 754.02
BM#3 - "X" CUT SET ON THE EAST SIDE OF SOUTH BUFFALO STREET POINT 103, ELEVATION 756.59

SOUTH BUFFALO STREET
SOUTH BUFFALO STREET

WEST HARRELL STREET
WEST HARRELL STREET

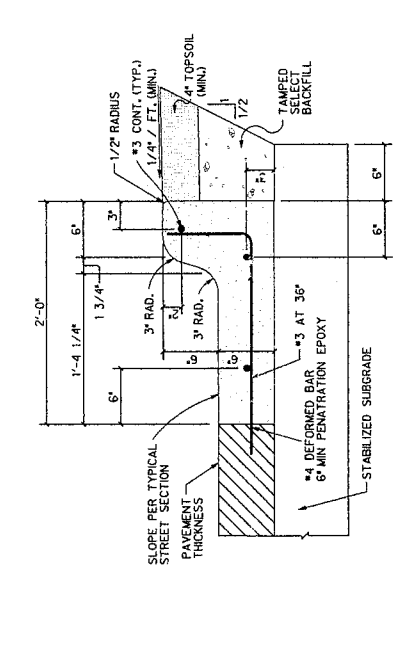
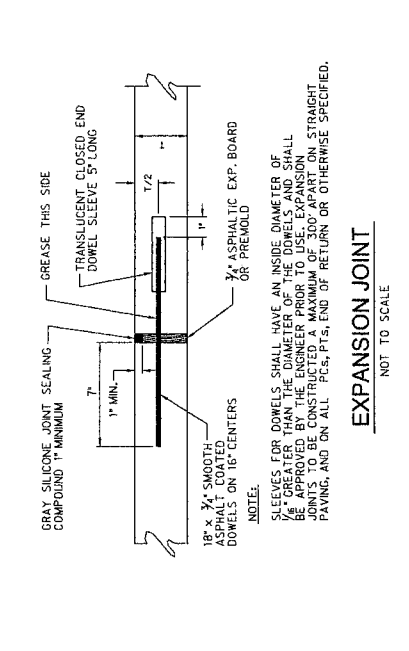
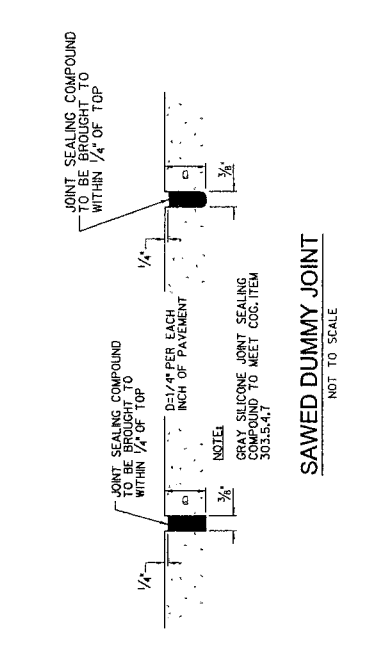
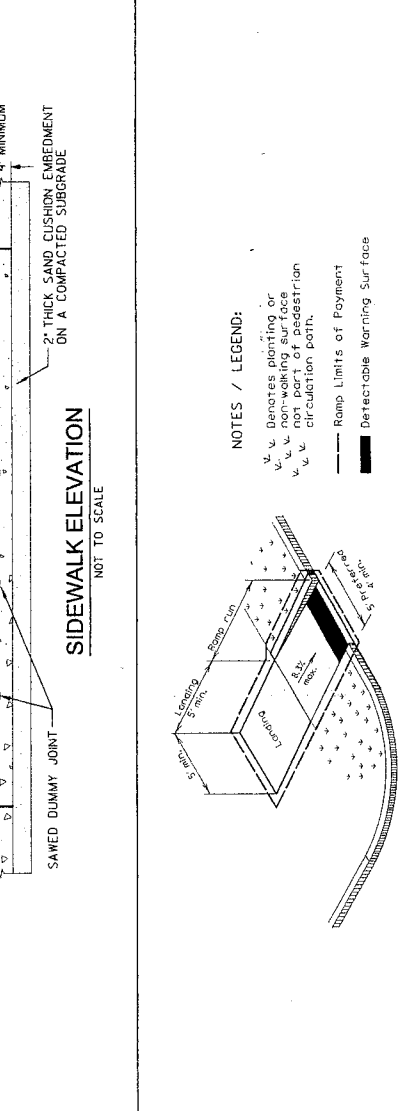
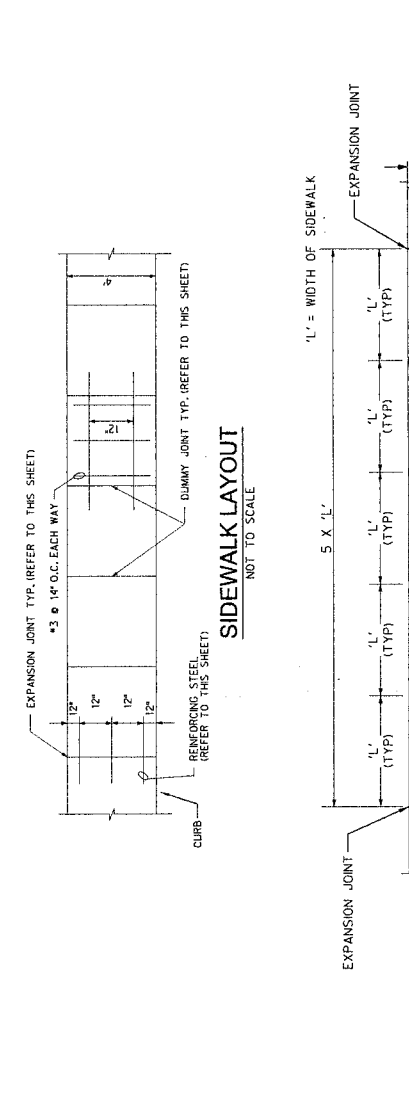
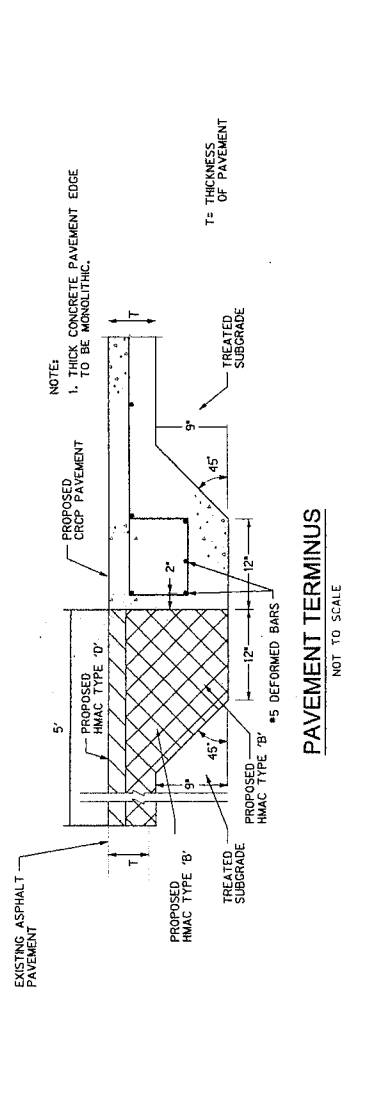
No.	Date	Description



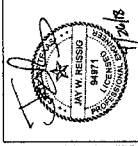
SHEET 1 OF 9

PROJECT NO.: 23182
ISSUED: 02/20/18
DRAWN BY: JWB
CHECKED BY: JWB
SCALE: AS SHOWN
SHEET NO.

PAVING DETAILS
C6.01
Sheet Number



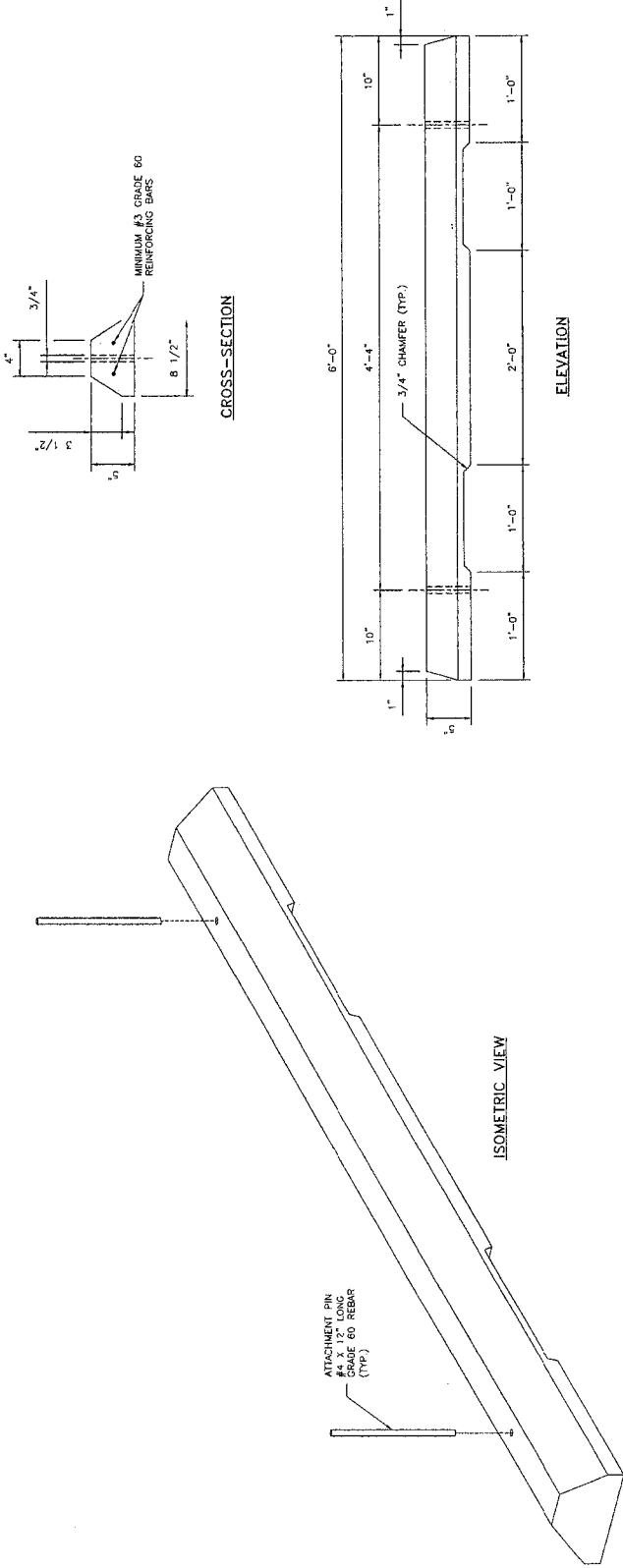
No.	Days	Description



SHEET	9	OF	9
-------	---	----	---

Project No.:	22102
Blame:	4/28/2013
Drawn By:	JWR
Checked By:	JWR
Scale:	
Sheet Title:	PAVING DETAILS

C6.02
Sheet Number



CONCRETE WHEEL STOP DETAIL

GENERAL NOTES:

1. CONCRETE FOR WHEEL STOP SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI
2. REINFORCING STEEL SHALL BE PER ASTM A615, GRADE 60.
3. ATTACHMENT PINS SHALL HAVE A 1 INCH EMBEDMENT.



May 9, 2018
32192

Mr. Ralph McBroom, C.P.M.
Johnson County
Purchasing Agent
1102 E. Kilpatrick, Suite B
Cleburne, Texas 76031

RE: Professional Services for Parking Lot Expansion at Guinn Justice Center

Dear Mr. McBroom,

Johnson County has requested Halff Associates, Inc. (Halff) to provide professional design services for a parking lot expansion at the Guinn Justice Center in Cleburne, Texas. This proposal includes the Project Description, Scope of Work, Deliverables, Project Schedule, and Fees. The following exhibits are attached to the Proposal:

Exhibit A	Scope of Work
Exhibit B	Basis of Compensation
Exhibit C	Exclusions
Exhibit D	Project Fee Schedule
Exhibit E	Project Cost Estimate
Exhibit F	Parking Lot Concept Plan
Exhibit G	Geotechnical Engineering Services

Background

The county would like to expand the existing asphalt parking lot located east of the Guinn Justice Center and east of S. Buffalo Street. The existing parking lot has approximately 65 parking spaces. The proposed parking lot expansion will be located at the northeast corner of S. Buffalo Street and W. Harrell Street. The County has already purchased the property for the parking lot and the structures have been removed from the site. Halff did a conceptual layout of the proposed parking lot expansion. The parking lot expansion should add approximately 40 parking spaces.

Project Assumptions

The scope of services for this proposal has been prepared using the following assumptions as a basis for its preparation.

1. It is assumed the County will provide Construction Material Testing Services.
2. It is assumed the County will provide Construction Inspection Services.



3. The terms and conditions associated with this proposal are provided in Johnson County RFQ 2016-607 dated June 29, 2016.

We appreciate the opportunity to be of service to Johnson County. If you have any questions please do not hesitate to call me at (972) 956-0801.

Sincerely,

HALFF ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Brian C. Haynes", written over a faint, illegible stamp.

Brian C. Haynes, P.E., CFM
Vice President

Exhibit 'A'
Proposed Scope of Work
Parking Lot Expansion at the Guinn Justice Center

A. BIDDING PHASE

Halff will assist the county in bidding out this project through a public bidding process. The bidding phase will include the following.

1. Final Bid Documents – Prepare construction contract documents for bidding the project.
2. Bidding Assistance – Halff will assist the county during the bidding phase by reviewing bidder qualifications and providing a recommendation concerning award of the construction contract.
3. Pre-Bid Meeting – Attend one (1) pre-bid meeting with the contractor.
4. Final Construction Plans\Specifications – After bid, issue final construction plans and specifications. Contractor will be provided with four (4) sets of 11”x17” construction plans and a PDF of the construction plans.

B. CONSTRUCTION PHASE

Halff will assist the county during the construction phase with limited construction administration. The construction phase will include the following.

1. Pre-Construction Meeting – Halff will attend the pre-construction meeting with the county and contractor.
2. Construction Administration – This includes answering request for information (RFI's), review pay applications, process change orders, and other related construction administration activities.
3. Construction Meetings – Halff has budgeted for four (4) construction meetings or site visits.

Deliverables

1. Final Bid Documents



Exhibit 'B'
Basis of Compensation
Parking Lot Expansion at the Guinn Justice Center

Basic Services as described in Exhibit 'A' will be provided for a total lump sum fee of **\$18,230.00**. The overall fee total shown will not be exceeded without prior written authorization for the Client. Payment for total services as described in Exhibit 'A' will be invoiced to the Client on a monthly basis, based upon a percentage of completed tasks. Below is a cost breakdown of the Basic Services. Refer to Exhibit 'D' for a detailed Project Fee Schedule.

PROFESSIONAL SERVICES FEE SUMMARY	
PROJECT TASKS	FEE
E. BIDDING PHASE	\$8,410.00
F. CONSTRUCTION PHASE	\$9,820.00
TOTAL FEE	\$18,230.00

Reimbursable Expenses (Direct Costs) are included in the lump sum fees and shall include, but are not necessarily limited to expenses for supplies, transportation, equipment, travel, communication, printing of plans, and similar incidentals.

The terms and conditions associated with this proposal are provided in Johnson County "RFQ 2016-607" dated June 29, 2016.

Exhibit 'C'
Exclusions
Parking Lot Expansion at the Guinn Justice Center

Additional Services

Additional Services not included in the Proposed Scope of Work will be negotiated with the Client as needed. Compensation will be based upon a mutually agreed lump sum fee or an hourly rate as shown below. Items that are considered additional services include:

1. Environmental Site Assessment
2. Assessment outside the limits of the project site.
3. Full-time construction inspection.
4. Design of utilities or other improvements outside of the project boundary.
5. Quality control and material testing services during construction except for submittal reviews.
6. Negotiations/agreements with adjacent property Owners.
7. Payment of permits or filing fees required by regulatory agencies or departments obtained for the City.
8. Surveys/investigations involving sampling and laboratory analysis (e.g., hazardous materials sampling and analysis, asbestos surveys, and lead-based paint surveys).
9. Any additional work not specifically included in the Proposed Scope of Work will be accomplished as Additional Services.

Courtnei Bragg

From: Haynes, Brian <bHaynes@Halff.com>
Sent: Thursday, May 17, 2018 5:52 PM
To: Ralph A. McBroom; Randy Wheeler; Courtnei Bragg
Cc: David Disheroon
Subject: Guinn Justice Center - Parking Lot Improvements - Cost Estimate
Attachments: 4_Exhibit D_Guinn Justice Center Probable Cost (5-17-2018).pdf; Guinn Justice Center Parking Lot_Final Plans (4-26-2018).pdf; Proposal_Johnson County_Parking Lot Expansion_Includes Bidding & Const Admin(3-17-2017).pdf

WARNING: This email is from an external source. Do not click links or open attachments without positive sender verification of purpose. Never enter Username, Password or sensitive information on linked pages from this email. If you are unsure about the message, please contact the HelpDesk for assistance.

Ralph\Randy\Courtnei,

I've attached the following information for the Guinn Justice Center Parking Lot Improvements:

1. Cost Estimate
2. Construction Plans
3. Proposal for Bidding and Construction Administration

The total construction cost estimate is \$234,000. If you include construction, design services and Inflation the total project cost is \$290,000.

When you are ready, please send me the contract documents you use when bidding out a construction project.

Let me know if you have any questions.

Thanks,
Brian

Brian Haynes, PE, CFM
Vice President

O: (817) 764-7517
C: (817) 692-8419

HALFF ASSOCIATES, INC.
4000 Fossil Creek Blvd.
Fort Worth, TX 76137-2720



Halff.com | [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [YouTube](#)